



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

Reference Number	24/00021/PPD
Date registered as valid	30/01/24
Description of Development	Erect ancillary accommodation annex for existing dwelling house

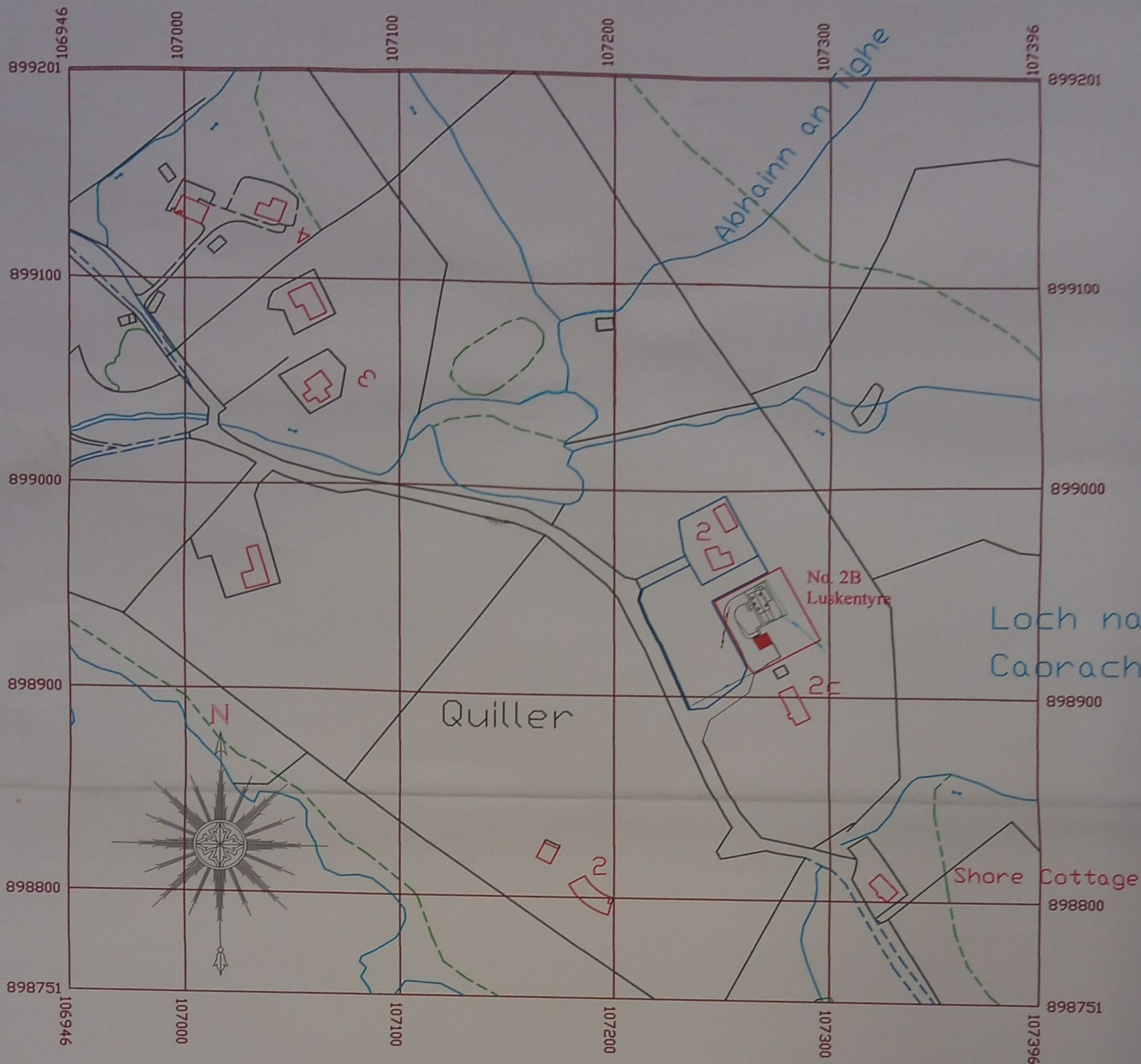
Address or description of location to which the development relates	Quiller Cottage, 2B Luskentyre, Isle of Harris, HS3 3HL
Co-ordinates	Eastings: 107265 Northing: 898923
Applicant Name	Mr Mark Blythe
Applicant Address	Low Rough Hill, Askham, Penrith, Cumbria, CA10 2QL
Agent name (if applicable)	Sound Construction Per Mr Angus Macleod
Agent address (if applicable)	21 Strond, Isle of Harris, HS5 3UD

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

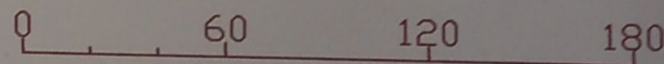
Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk



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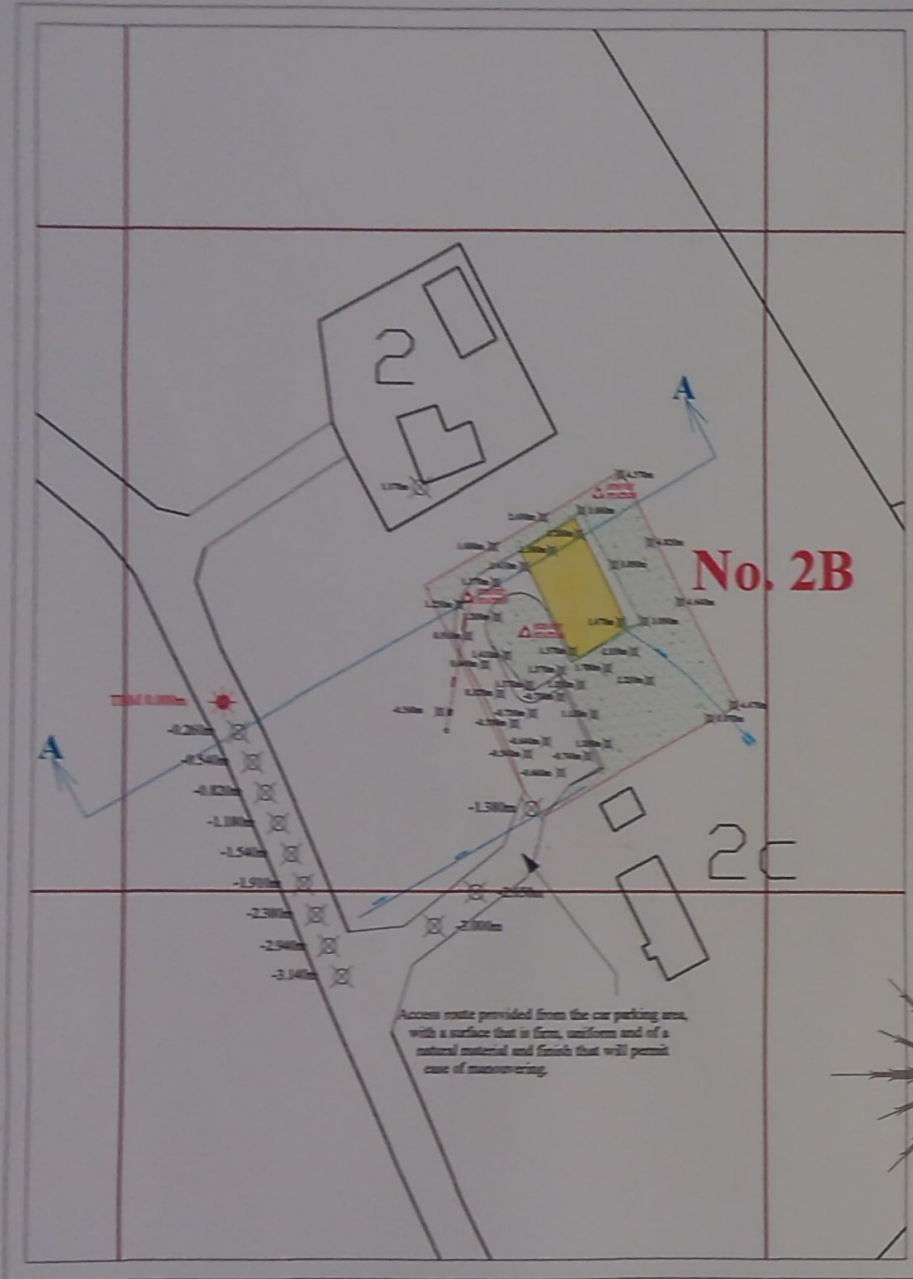


LOCATION PLAN

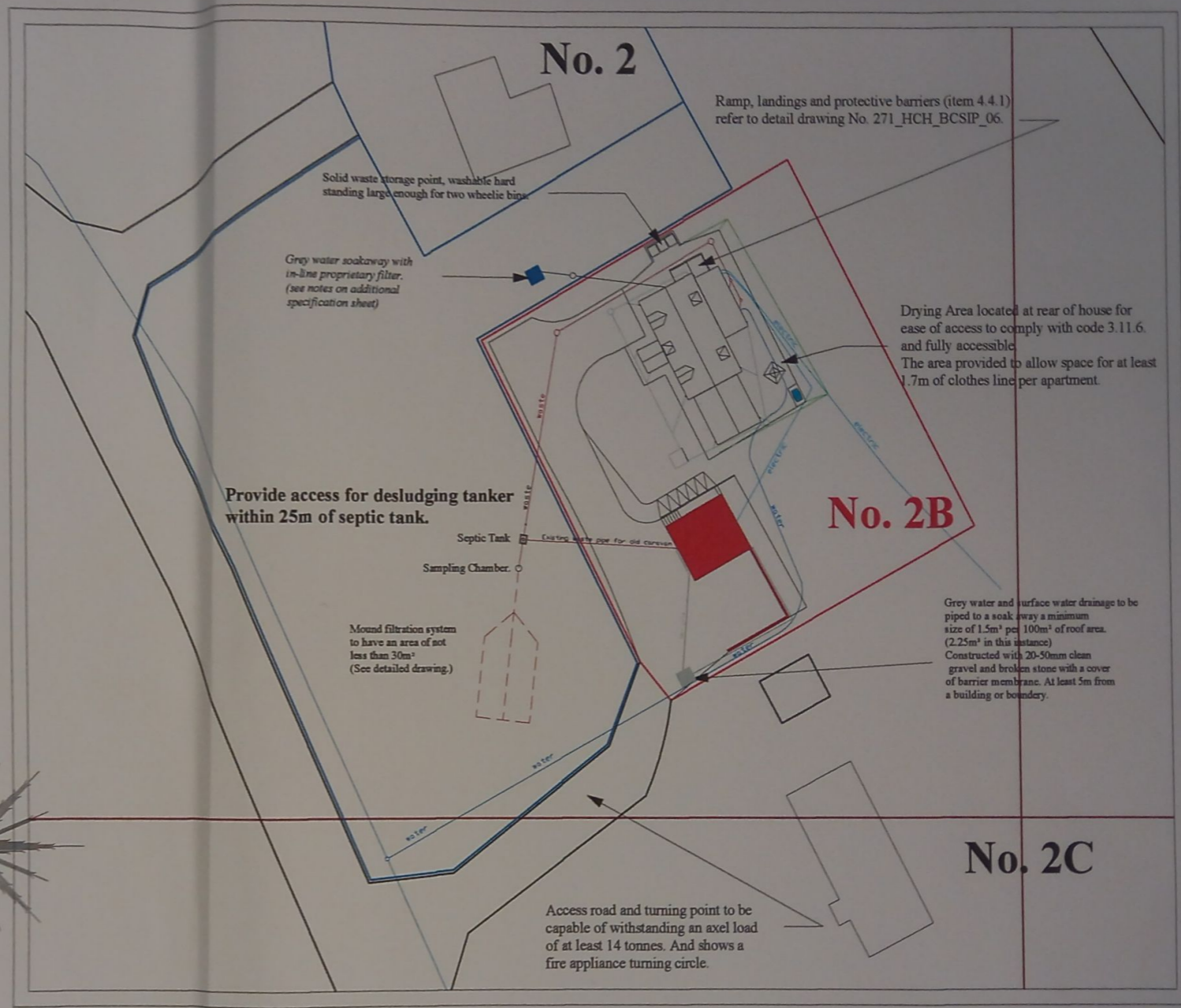
CLIENT Mr Mark Blythe	DATE 09 / 05 / 2023	DRAWINGS
SITE Quiller Cottage 2B Luskentyre, Isle of Harris.	BUILD TYPE 2B Luskentyre Annexe and Car Park Area	Location Plan Scale 1:2500
	REV. n/a	
DRAWN BY Angus Macleod	SHEET NO. No. 1	

SOUND
Construction

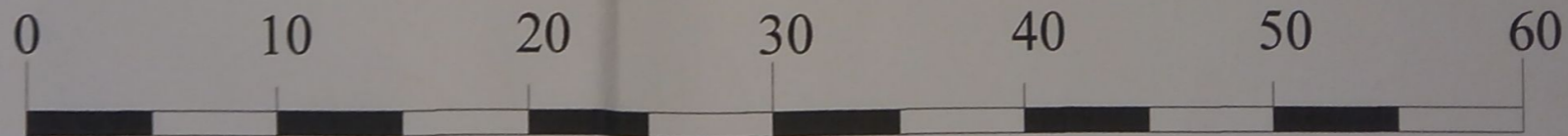
21 Strond, LEVERBURGH,
 Isle of Harris,
 HS5 3UA.
 Tel. 01859 520222
 Mobile. 07775528559
 email: soundconstruction@tiscali.co.uk
 VAT. Reg. No. 552 563 049



SITE PLAN WITH LEVELS




SITE PLAN SCALE 1:500

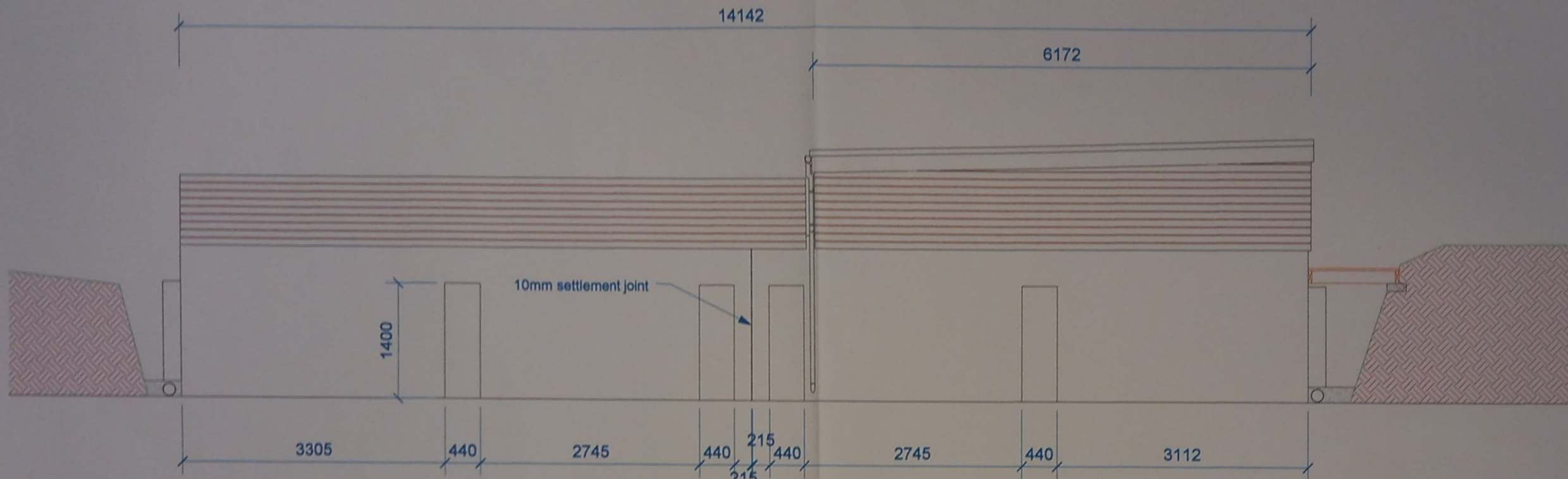


NOTE

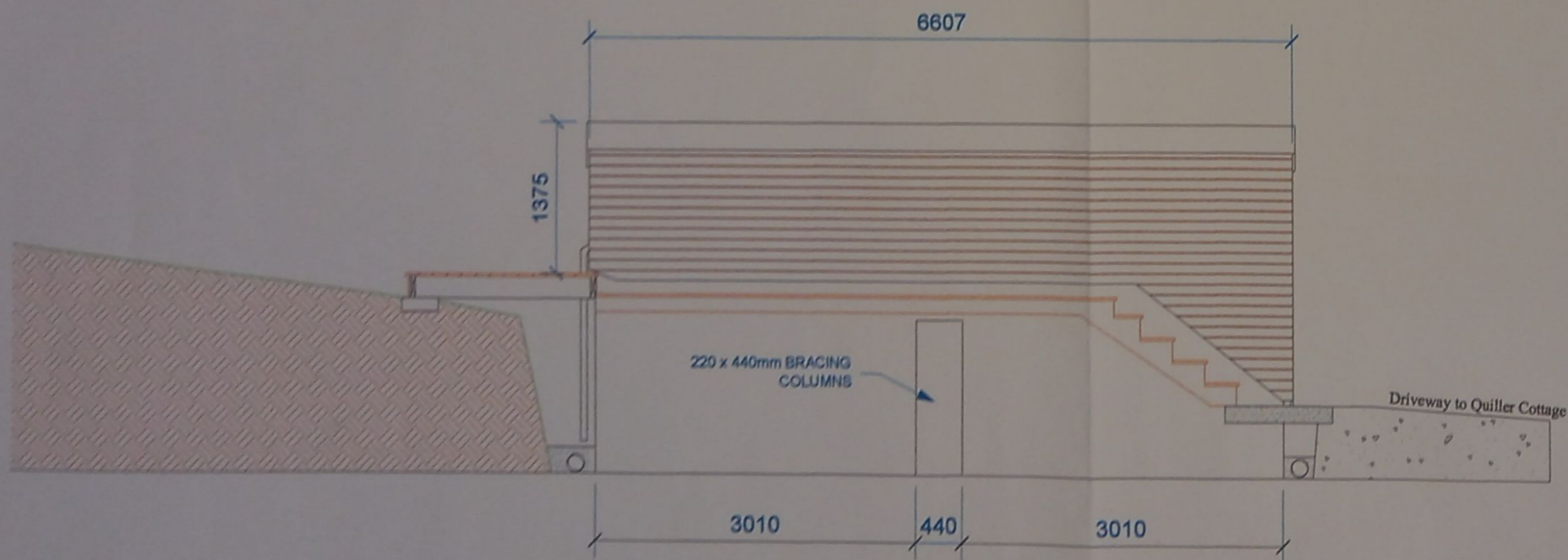
An accessible entrance to a building should:

- have an unobstructed entrance platt of at least 1.2 m by 1.2 m, with a crossfall of not more than 1 in 50, if required to prevent standing water; and
- have a means of automatic illumination above or adjacent to the door; and
- have an accessible threshold; and
- have a door leaf giving a clear opening width of at least 800 mm

CLIENT	Mr Mark Blythe	DATE	09 / 05 / 2023	DRAWINGS	Site Levels Plan	1:1000	 <p>21 Strond, LEVERBURGH, Isle of Harris HS5 3UA Tel. 01859 520222 Mobile. 07775528559 email: soundconstruction@tiscali.co.uk VAT Reg. No. 552 563 049</p>
	SITE	Quiller Cottage 2B Luskentyre Isle of Harris	BUILD TYPE		2B Luskentyre Annexe and Open Car Shelter	Site Plan	
		REV.	REV.1	DRAWN BY	Angus Macleod	SHEET NO.	

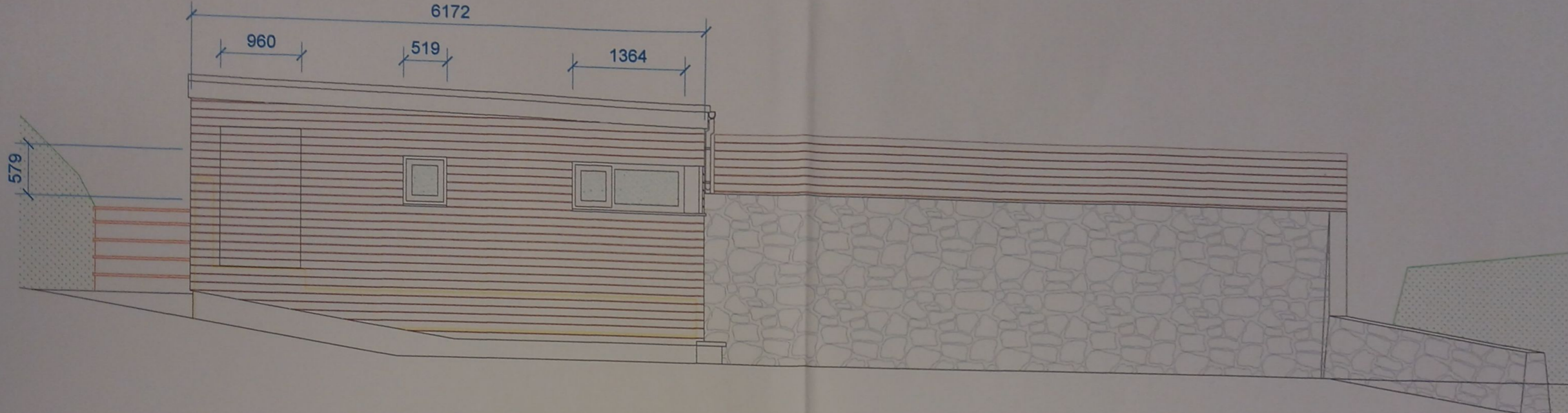


REAR ELEVATION

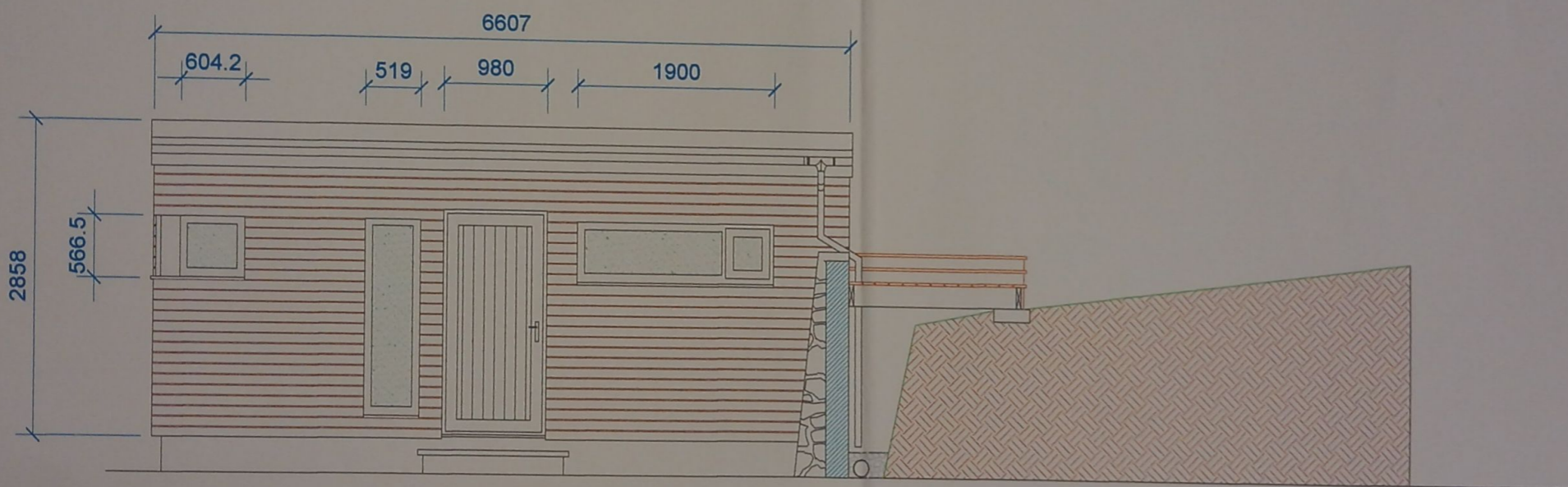


END ELEVATION

CLIENT	Mr Mark Blythe	SOUND <i>Construction</i> <small>11 BRACKLEY DRIVE, BARRA, ISLE OF HARRIS, HBT 3TA, TEL: 01850 820223, MOBILE: 07775382139, WWW.SOUNDCONSTRUCTION.CO.UK, VAT Reg. No. 322 242 840</small>	
SITE	Quiller Cottage 2B Luskenyire Isle of Harris		
DATE	09/05/2023		
BUILD TYPE	New	DRAWN BY	REAR and END ELEVATION
REV	A	SCALE	Scale 1:50
DRAWN BY	Angus MacLeod	SHEET NO.	Sheet 4



FRONT ELEVATION



END ELEVATION

CONSTRUCTION

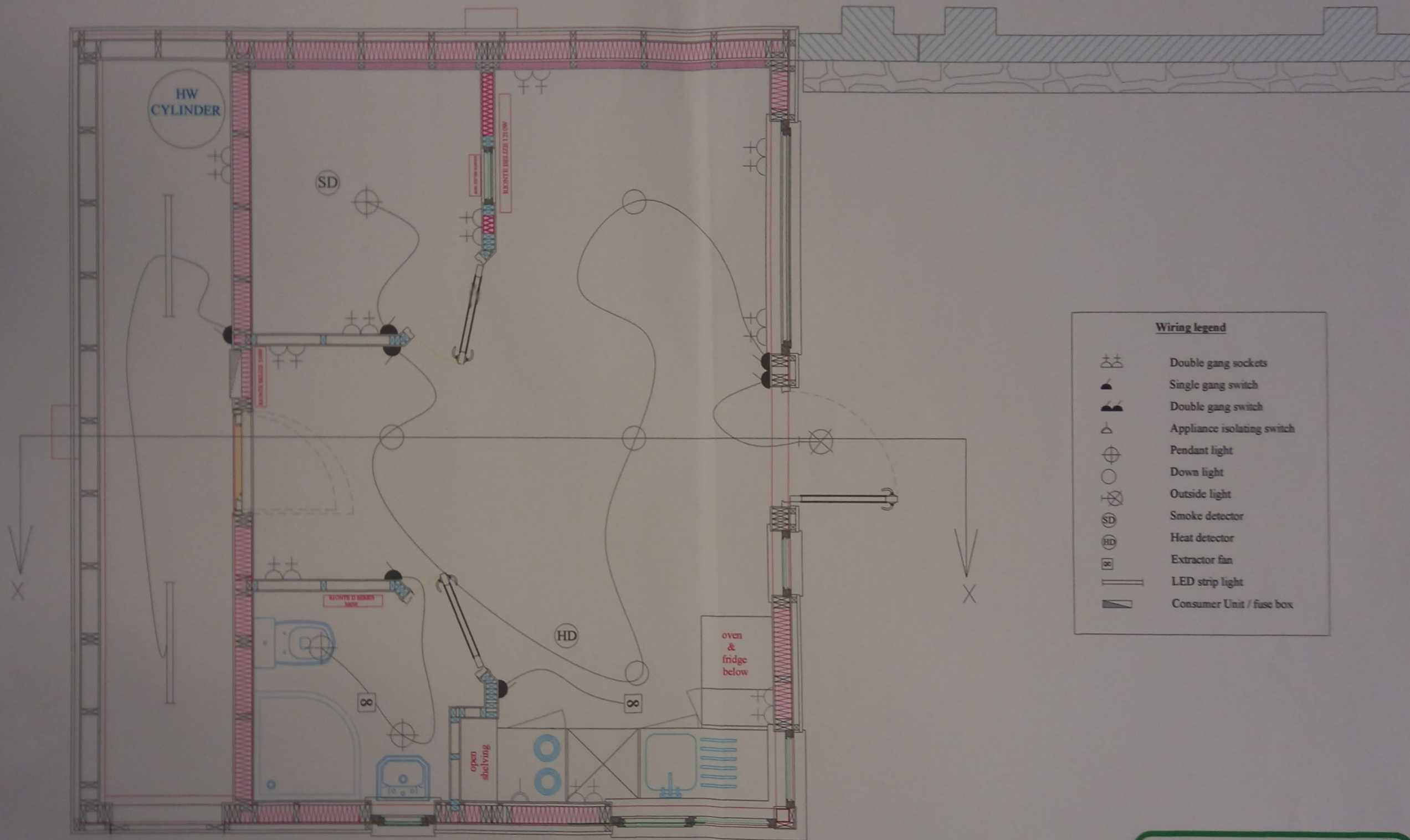
Concrete block walls with (white or grey) smooth render to base of building. Car parking area walls clad with local stone.

UPVC doors, and windows coloured to match house.

Horizontal larch rainscreen cladding on vertical battens as per TRADA specification. Line through larch cladding boards at head of openings to avoid cutting of profile. Window heights have been calculated on the basis of 142mm boards and a 10mm shadow gap. Insect mesh to be fitted at rear of cladding boards. Protan roofing membrane fitted directly onto 18mm plywood or OSB as per manufacturers guidelines

CLIENT	Mr Mark Blythe	DATE	09 /05 / 2023	DRAWINGS	
SITE	Quiller Cottage 2B Luskentyre Isle of Harris	BUILD TYPE	Front Elevation 1:50		
		REV.	End Elevation 1:50		
		DRAWN BY	SHEET NO. No.3		
			Angus Macleod		

SOUND Construction
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Wiring legend

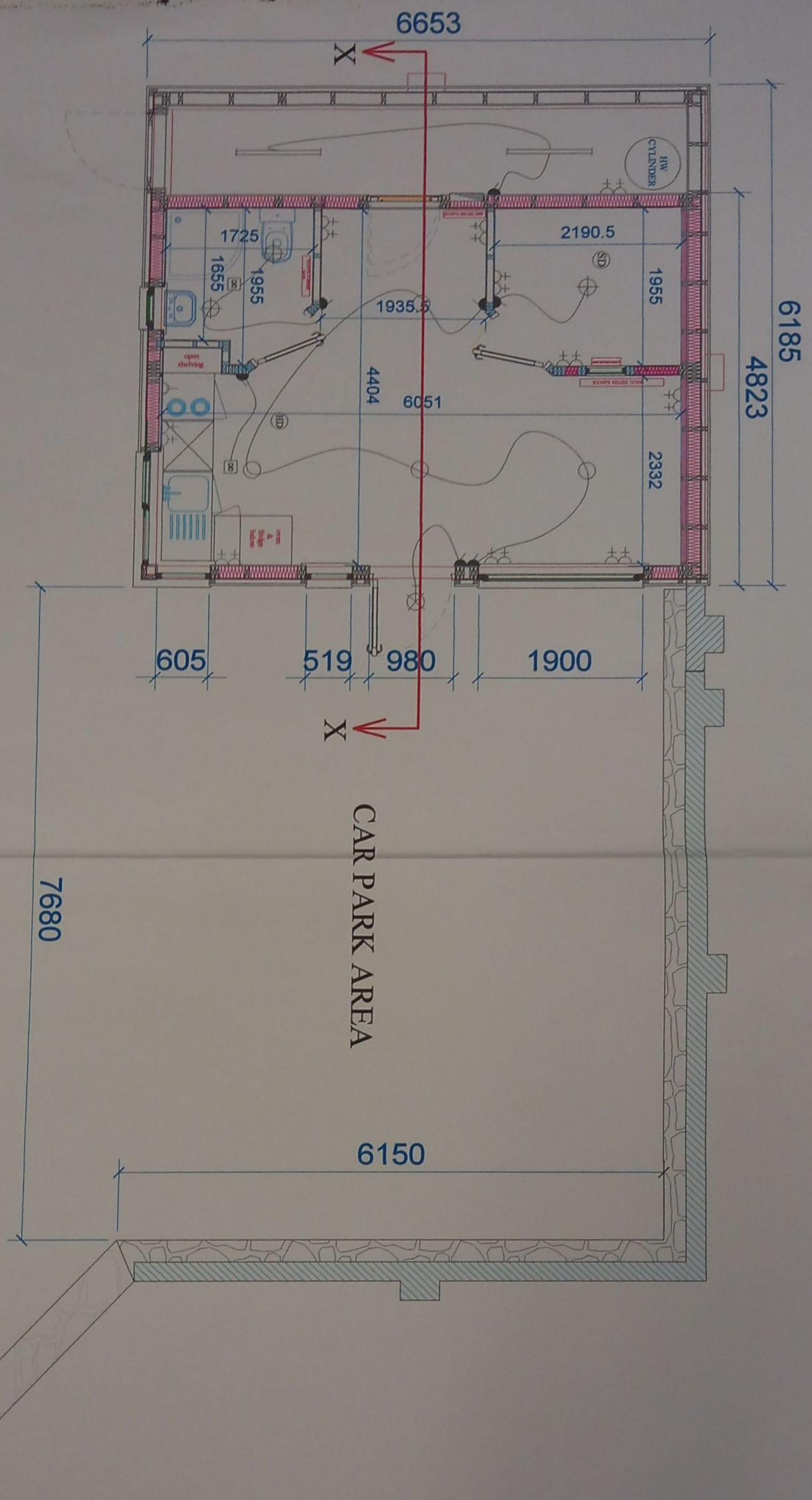
	Double gang sockets
	Single gang switch
	Double gang switch
	Appliance isolating switch
	Pendant light
	Down light
	Outside light
	Smoke detector
	Heat detector
	Extractor fan
	LED strip light
	Consumer Unit / fuse box

PLAN VIEW 1:30

CLIENT	Mr Mark Blythe	SOUND Construction <small>15 BROAD LUTHERBURGH, NEWCASTLE, NE11 1JL TEL: 0191 2760000 EMAIL: info@soundconstruction.co.uk</small>
WITH	Quiller Cottage 2B Luskentyre Isle of Harris	
DATE	09/05/2023	
PROJECT TYPE	New	PLAN VIEW Scale 1:30
REV	A	
DRAWN BY	Angus MacLeod	SHEET NO. Sheet 8

Wireless legend	
	Double gang sockets
	Single gang switch
	Double gang switch
	Appliance isolating switch
	Pendant light
	Down light
	Outside light
	Smoke detector
	Heat detector
	Extractor fan
	LED strip light
	Consumer Unit / fuse box

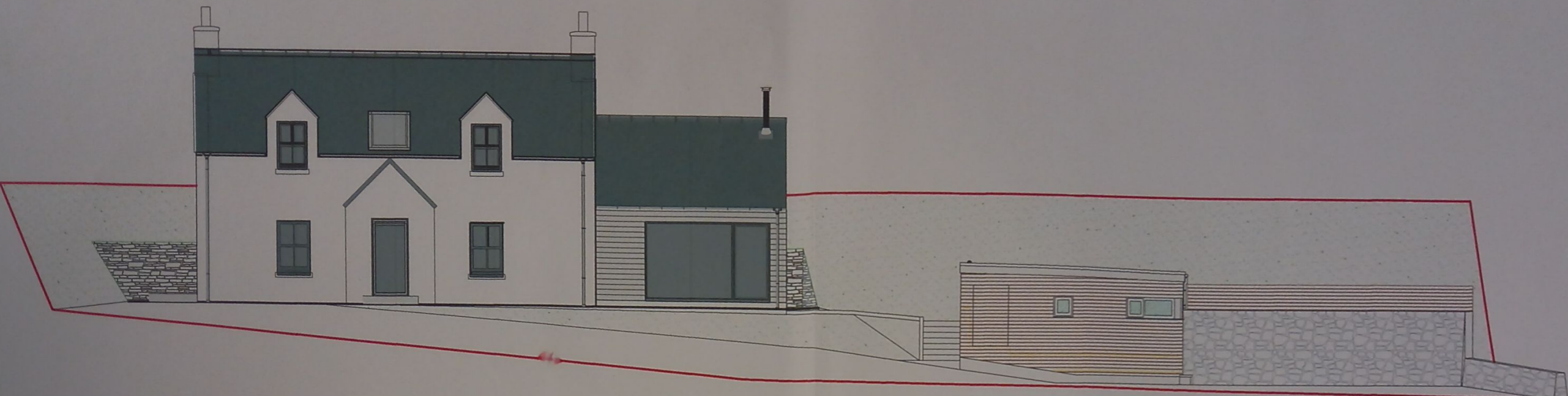
PLAN VIEW



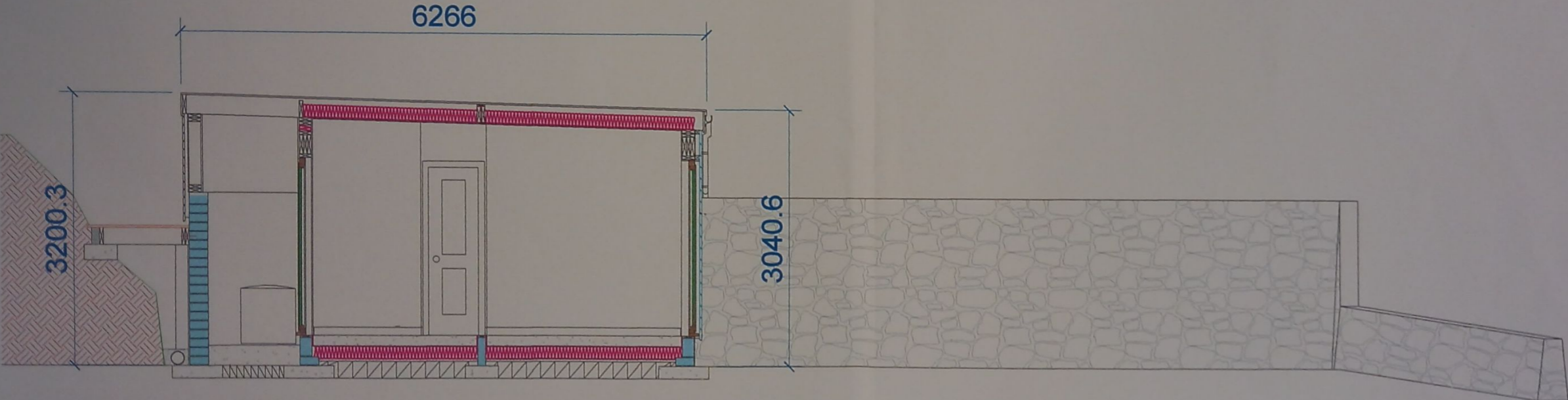
CLIENT Mr Mark Blythe Quiller Cottage 2B Luskentyre Isle of Harris	DATE	09/ 05 / 2023
	BUILD TYPE	2B Luskentyre Annexe and Open Car Shelter
	REV.	n/a
	DRAWN BY	Angus Macleod

DRAWINGS	Plan View	1:50
SHEET NO.	No. 5	

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ROAD VIEW



SECTIONAL VIEW X - X

NOTE.
For all specifications please refer to Structural Engineers Report.

CLIENT	Mr Mark Blythe	DATE	09 / 05 / 2023	DRAWINGS	
SITE	Quiller Cottage 2B Luskentyre Isle of Harris	BUILD TYPE	2B Luskentyre Annexe and Open Car Park	Road View	Not to scale
		REV.	n/a	Sectional View X- X	1:50
DRAWN BY	Angus Macleod	SHEET NO.	No.7	 21 Strond, LEVERBURGH, Isle of Harris, HSS 3UA. Tel. 01859 520222 Mobile: 07775528559 email: soundconstruction@tiscali.co.uk VAT. Reg. No. 552 563 049	

**Design statement for proposed annex to Quiller Cottage, 2B
Luskentyre, Isle of Harris, HS3 3HL**

This design statement supports the planning application submitted by Angus MacLeod (Sound Construction) on behalf of Mr Mark Blythe, for the building of an annex for Quiller Cottage, to accommodate visiting family & friends.

Mr Blythe's decision to build on this site, below the level of Quiller Cottage, rather than on adjacent land owned by him & easier to develop, was bourn out of his strong desire to retain the very traditional style chosen by him for Quiller Cottage, built 2015-2016. Our brief, therefore, is to ensure the annex build is as discreet & blended-in to the landscape as possible.

As the site is located within the island National Scenic Area (NSA), consideration was given to the design & materials to be used, ensuring the build blends seamlessly with its environment. The build assumes a very low profile, built onto a local stone clad screening wall, with two elevations clad with Scots Larch which matches lounge & lean-to on Quiller Cottage. This also adheres to the recent Luskentyre vernacular. The grey colour Protan system flat roof covering also matches that used on Quiller lean-to roof. Windows & doors also to be of a grey colour, to match those on Quiller larch clad areas. The stone boundary wall also minimises what is visible of the annex from the Luskentyre road.