



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

Reference Number	24/00030/PPD
Date registered as valid	02/02/2024
Description of Development	Erect house, form access, parking, and install air source heat pump. Erect domestic garage. Temporary siting of caravan and storage container during construction.

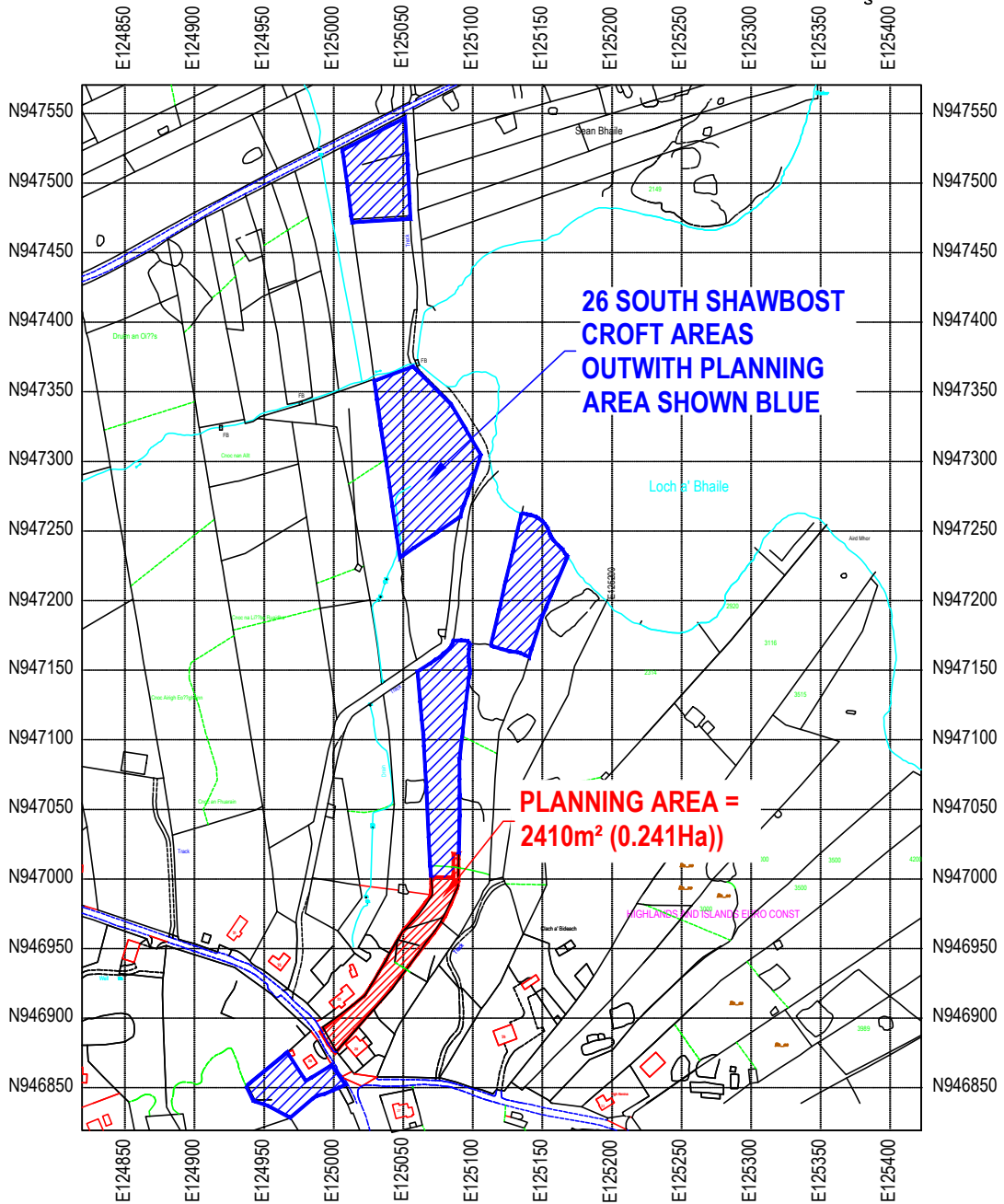
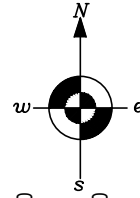
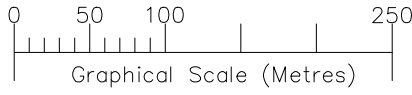
Address or description of location to which the development relates	26 South Shawbost, Isle of Lewis
Co-ordinates	E125075 N946980
Applicant Name	Mr Norman Smith
Applicant Address	45 South Shawbost, Isle of Lewis, HS2 9BJ
Agent name (if applicable)	Maciver Consultancy Services Per Mr Scott Maciver
Agent address (if applicable)	2A Steinish, Stornoway, Isle of Lewis, HS2 0AA

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk



Site Location Plan

Scale 1:5000 @ A4

Site Centred Co-ordinates N.G.R. NB 125070,946980

MACIVER
CONSULTANCY
SERVICES

2A STEINISH
STORNOWAY
HS2 0AA
TEL (01851) 704703
EMAIL malcolm@maciverconsultancy.com

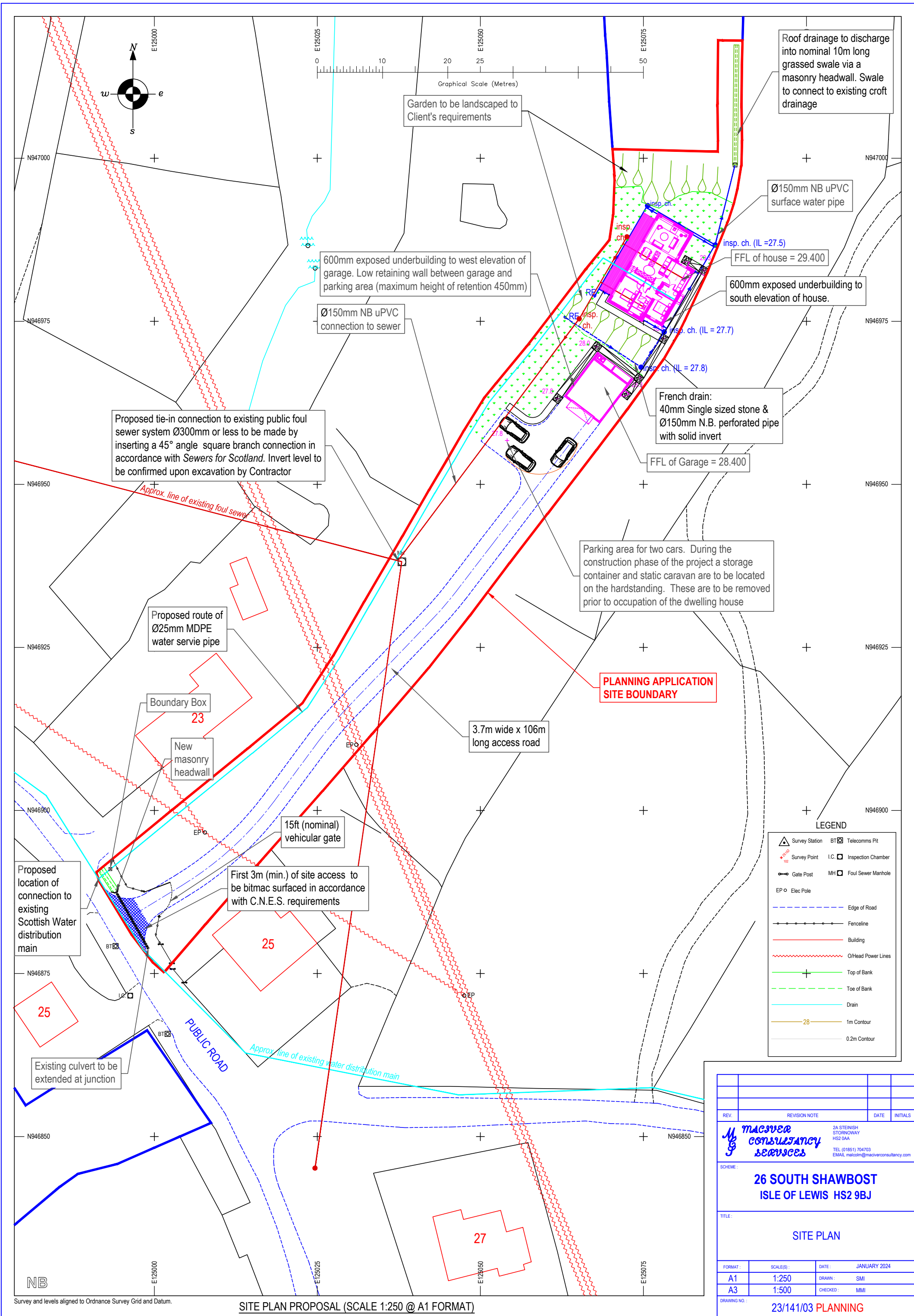
REV.	REVISION NOTE	DATE	INITIALS

SCHEME : **26 South Shawbost, Isle of Lewis
Proposed Dwelling House**

SCALE(S) : **1:5000 @ A4**
DATE : **JANUARY 2024**
DRAWN : **SMI**
CHECKED :

TITLE : **SITE LOCATION PLAN**

DRAWING NO. : **23/141/01 PLANNING**



Garden to be landscaped to Client's requirements

600mm exposed underbuilding to west elevation of garage. Low retaining wall between garage and parking area (maximum height of retention 450mm)

Ø150mm NB uPVC connection to sewer

Proposed tie-in connection to existing public foul sewer system Ø300mm or less to be made by inserting a 45° angle square branch connection in accordance with *Sewers for Scotland*. Invert level to be confirmed upon excavation by Contractor

Approx. line of existing foul sewer

Proposed route of Ø25mm MDPE water service pipe

Boundary Box 23

New masonry headwall

15ft (nominal) vehicular gate

First 3m (min.) of site access to be bitmac surfaced in accordance with C.N.E.S. requirements

25

Proposed location of connection to existing Scottish Water distribution main

Existing culvert to be extended at junction

3.7m wide x 106m long access road

PLANNING APPLICATION SITE BOUNDARY

Parking area for two cars. During the construction phase of the project a storage container and static caravan are to be located on the hardstanding. These are to be removed prior to occupation of the dwelling house

Roof drainage to discharge into nominal 10m long grassy swale via a masonry headwall. Swale to connect to existing croft drainage

Ø150mm NB uPVC surface water pipe

insp. ch. (IL = 27.5)

FFL of house = 29.400

600mm exposed underbuilding to south elevation of house.

insp. ch. (IL = 27.7)

insp. ch. (IL = 27.8)

French drain: 40mm Single sized stone & Ø150mm N.B. perforated pipe with solid invert

FFL of Garage = 28.400

LEGEND

▲	Survey Station	BT	Telecomms Pit
●	Survey Point	I.C.	Inspection Chamber
⊕	Gate Post	MH	Foul Sewer Manhole
EP	Elec Pole		
---	Edge of Road		
---	Fencing		
---	Building		
---	Overhead Power Lines		
---	Top of Bank		
---	Toe of Bank		
---	Drain		
---	1m Contour		
---	0.2m Contour		

REV.	REVISION NOTE	DATE	INITIALS
2A STEINISH STORROWAY HS2 9AJ TEL: (01851) 704703 EMAIL: mail@maciverconsultancy.com			
26 SOUTH SHAWBOST ISLE OF LEWIS HS2 9BJ			
SITE PLAN			
FORMAT:	SCALE(S):	DATE:	JANUARY 2024
A1	1:250	DRAWN:	SMI
A3	1:500	CHECKED:	MMI
DRAWING NO.: 23/141/03 PLANNING			

Survey and levels aligned to Ordnance Survey Grid and Datum.

SITE PLAN PROPOSAL (SCALE 1:250 @ A1 FORMAT)

ROOF LEVEL +6469.8

SVP

FIRST FLOOR LEVEL +2575

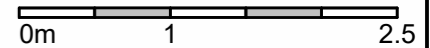
TOP OF WINDOWS +2100

GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
Windows: AluClad windows in Black



CLIENT
 Norman Smith

Project Number:
 H_1017

Site Address:
 26 South Shawbost,
 Shawbost,
 Isle of Lewis
 HS2 9BJ

DRAWING NUMBER:
 1017-HEB-XX-XX-DR-XX-20-401

DRAWING TITLE
 FRONT ELEVATION

DRAWN BY
 AA

CHECKED:
 FM/LH/JH

PURPOSE FOR ISSUE:
 For Stage Approval

PLANNING APPLICATION

REVISION:
 P3

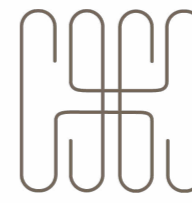
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 24/07/2023

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STATUS:
 S4

REVISION	DESCRIPTION
P1	Draft Planning Drawings
P2	Draft Planning Drawing Amendments
P3	Final Planning Pack

DRAWN	CHECKED	DATE
MB	FM/LH/JH	04/08/2023
MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023



HebHomes

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 Web: www.hebhomes.com

To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing for production or construction. Architect to be advised of any variation between the drawings and site conditions. Construction must comply with all NHBC and industry standards.
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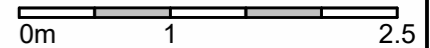
TOP OF WINDOWS +2100

GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
Windows: AluClad windows in Black



CLIENT
Norman Smith

Project Number:
H_1017

Site Address:
26 South Shawbost,
Shawbost,
Isle of Lewis
HS2 9BJ

DRAWING NUMBER:
1017-HEB-XX-XX-DR-XX-20-402

DRAWING TITLE
REAR ELEVATION

DRAWN BY
AA

CHECKED:
FM/LH/JH

PURPOSE FOR ISSUE:
For Stage Approval

PLANNING APPLICATION

REVISION: P4

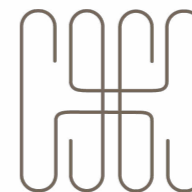
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STATUS:
S4

REVISION	DESCRIPTION
P1	Draft Planning Drawings
P2	Draft Planning Drawing Amendments
P3	Final Planning Pack
P4	Added Rooflights to Living Room

DRAWN	CHECKED	DATE
MB	FM/LH/JH	04/08/2023
MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023
MB	AA	06/12/2023



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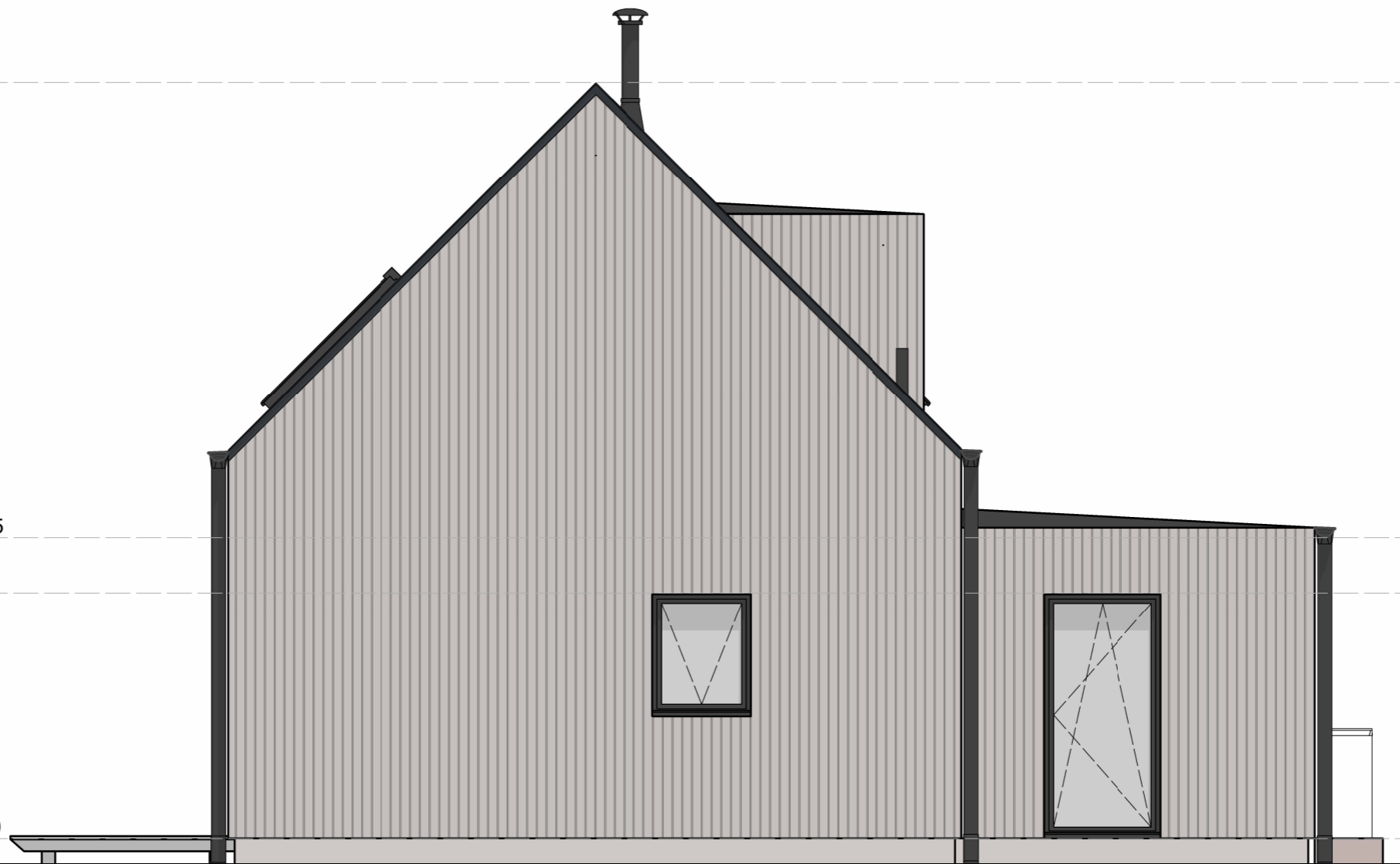
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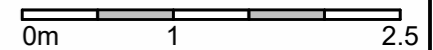
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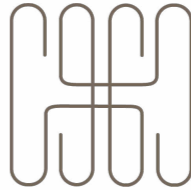
GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
Windows: AluClad windows in Black



CLIENT Norman Smith Project Number: H_1017 Site Address: 26 South Shawbost, Shawbost, Isle of Lewis HS2 9BJ	DRAWING NUMBER: 1017-HEB-XX-XX-DR-XX-20-403	REVISION: P3	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECKED</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>P1</td> <td>Draft Planning Drawings</td> <td>MB</td> <td>FM/LH/JH</td> <td>04/08/2023</td> </tr> <tr> <td>P2</td> <td>Draft Planning Drawing Amendments</td> <td>MB</td> <td>FM/LH/JH</td> <td>07/08/2023</td> </tr> <tr> <td>P3</td> <td>Final Planning Pack</td> <td>MB</td> <td>FM</td> <td>08/08/2023</td> </tr> </tbody> </table>	REVISION	DESCRIPTION	DRAWN	CHECKED	DATE	P1	Draft Planning Drawings	MB	FM/LH/JH	04/08/2023	P2	Draft Planning Drawing Amendments	MB	FM/LH/JH	07/08/2023	P3	Final Planning Pack	MB	FM	08/08/2023	 HebHomes Telephone: 44 (0)141 550 7360 Email: info@hebhomes.com Web: www.hebhomes.com <small>To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing for production or construction. Architect to be advised of any variation between the drawings and site conditions. Construction must comply with all NHBC and industry standards.</small> Copyright © HebHomes Ltd. All rights reserved. Any breach of copyright will be pursued
	REVISION	DESCRIPTION		DRAWN	CHECKED	DATE																		
	P1	Draft Planning Drawings		MB	FM/LH/JH	04/08/2023																		
	P2	Draft Planning Drawing Amendments		MB	FM/LH/JH	07/08/2023																		
	P3	Final Planning Pack		MB	FM	08/08/2023																		
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DRAWN BY AA	CHECKED: FM/LH/JH	SCALE 1:50 @ A3																						
PURPOSE FOR ISSUE: For Stage Approval	STATUS: S4																							
PLANNING APPLICATION																								

ROOF LEVEL +6469.8

FIRST FLOOR LEVEL +2575

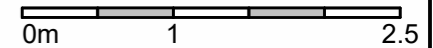
TOP OF WINDOWS +2100

GROUND FLOOR LEVEL +0



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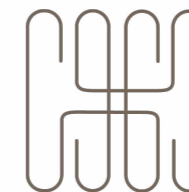
Site Address:
**26 South Shawbost,
 Shawbost,
 Isle of Lewis
 HS2 9BJ**

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DRAWING TITLE SIDE ELEVATION 2		DATE: 24/07/2023
DRAWN BY AA	CHECKED: FM/LH/JH	SCALE 1:50 @ A3
PURPOSE FOR ISSUE: For Stage Approval		STATUS: S4
PLANNING APPLICATION		

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Planning Drawings	MB	FM/LH/JH	04/08/2023
P2	Draft Planning Drawing Amendments	MB	FM/LH/JH	07/08/2023
P3	Final Planning Pack	MB	FM	08/08/2023

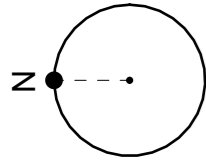
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Norman Smith

Project Number:
H_1017

Site Address:
26 South Shawbost,
Shawbost,
Isle of Lewis
HS2 9BJ

DRAWING NUMBER:
1017-HEB-XX-XX-DR-00-20-201

DRAWING TITLE
GROUND FLOOR PLAN

DRAWN BY
AA

CHECKED:
FM/LH/JH

PURPOSE FOR ISSUE:
For Stage Approval

REVISION:
P3

DATE:
24/07/2023

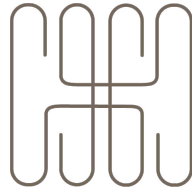
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STATUS:
S4

PLANNING APPLICATION

REVISION	DESCRIPTION
P1	Draft Planning Drawings
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DRAWN	CHECKED	DATE
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MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023



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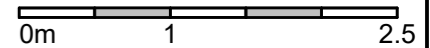
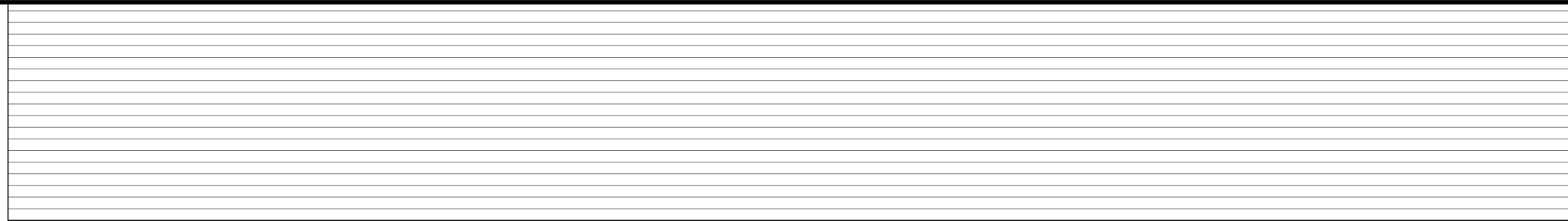
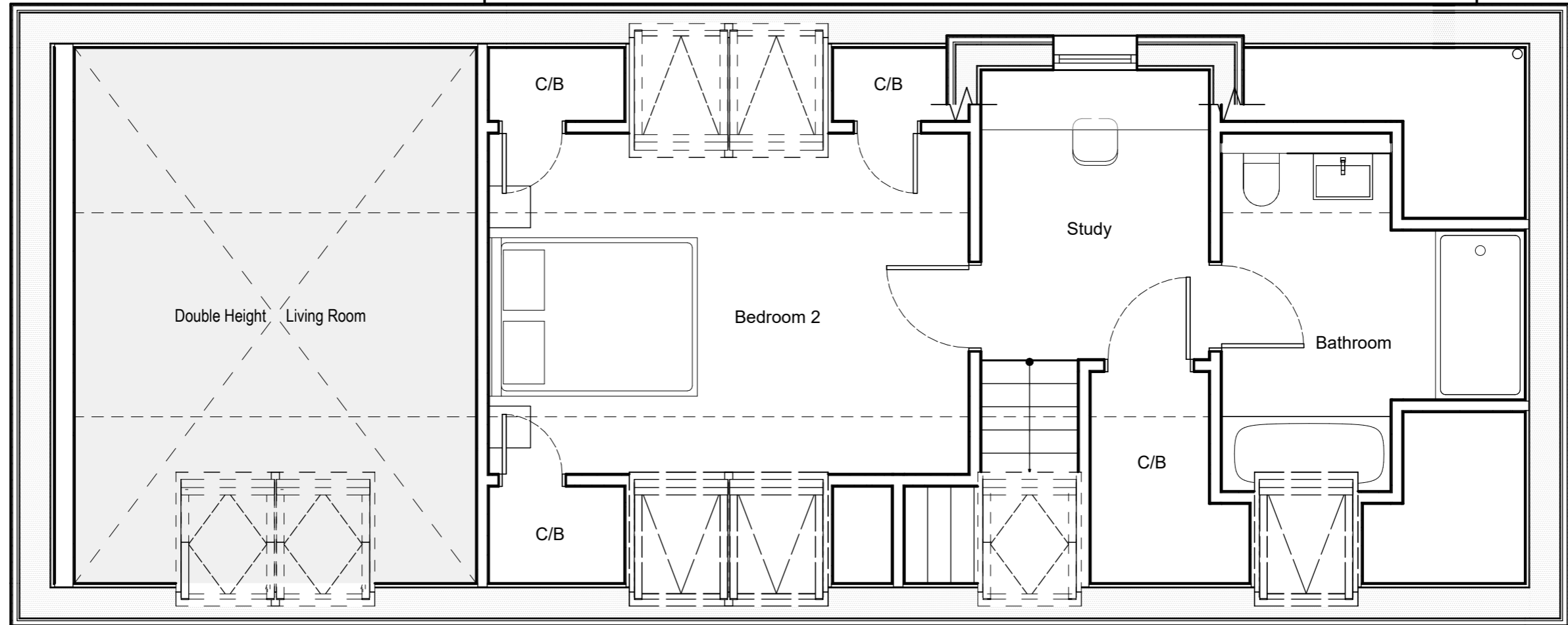
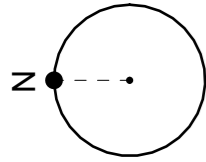
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DRAWING NUMBER:
1017-HEB-XX-XX-DR-01-20-202

DRAWING TITLE
FIRST FLOOR PLAN

DRAWN BY
AA

CHECKED:
FM/LH/JH

PURPOSE FOR ISSUE:
For Stage Approval

PLANNING APPLICATION

REVISION:
P4

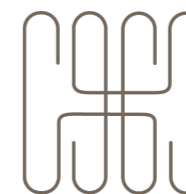
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24/07/2023

SCALE
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STATUS:
S4

REVISION	DESCRIPTION
P1	Draft Planning Drawings
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P3	Final Planning Pack
P4	Added Rooflights to Living Room

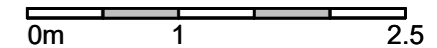
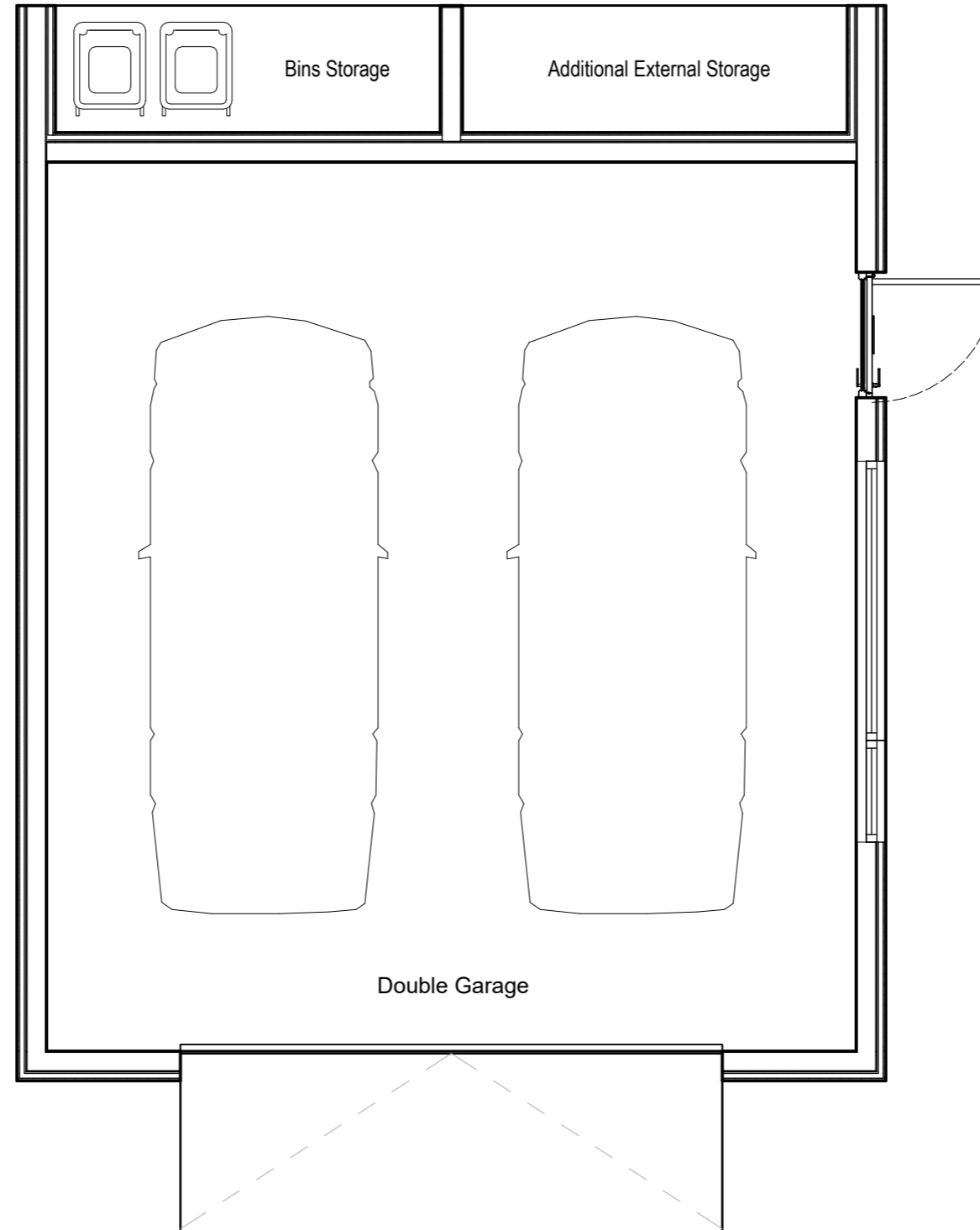
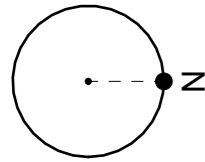
DRAWN	CHECKED	DATE
MB	FM/LH/JH	04/08/2023
MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023
MB	AA	06/12/2023



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H_1017

Site Address:
26 South Shawbost,
Shawbost,
Isle of Lewis
HS2 9BJ

DRAWING NUMBER:
1017-HEB-XX-XX-DR-XX-20-501

DRAWING TITLE
GARAGE FLOOR PLAN

DRAWN BY
AA

CHECKED:
FM/LH/JH

PURPOSE FOR ISSUE:
For Stage Approval

PLANNING APPLICATION

REVISION:
P3

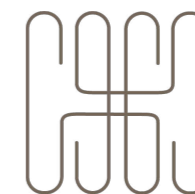
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01/08/2023

SCALE
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STATUS:
S4

REVISION	DESCRIPTION
P1	Draft Planning Drawings
P2	Draft Planning Drawing Amendments
P3	Final Planning Pack

DRAWN	CHECKED	DATE
MB	FM/LH/JH	04/08/2023
MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023



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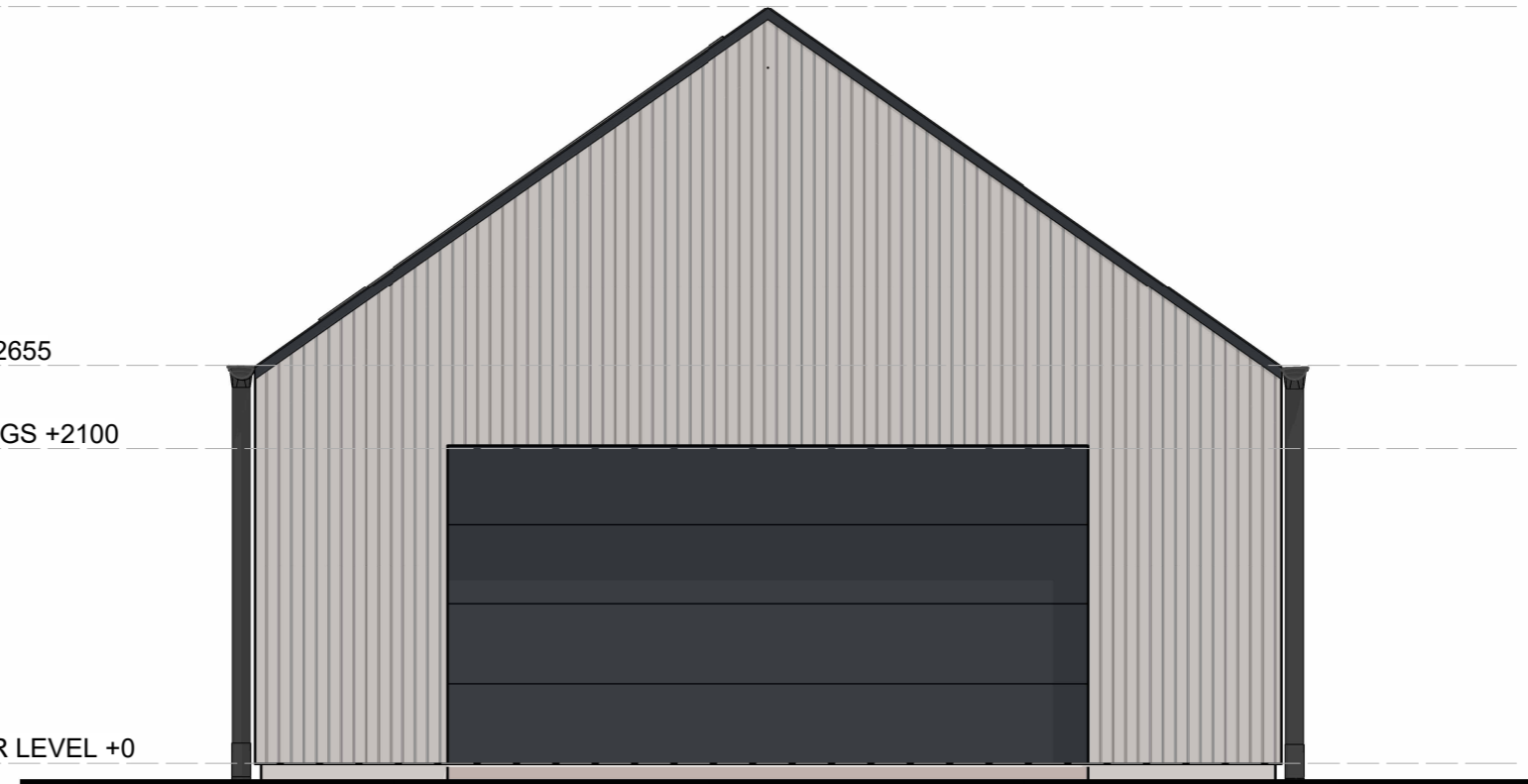
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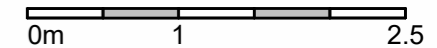
TOP OF OPENINGS +2100

GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
Windows: AluClad windows in Black



CLIENT
Norman Smith

Project Number:
H_1017

Site Address:
**26 South Shawbost,
 Shawbost,
 Isle of Lewis
 HS2 9BJ**

DRAWING NUMBER: 1017-HEB-XX-XX-DR-XX-20-502		REVISION: P3
DRAWING TITLE GARAGE FRONT ELEVATION		DATE: 01/08/2023
DRAWN BY AA	CHECKED: FM/LH/JH	SCALE 1:50 @ A3
PURPOSE FOR ISSUE: For Stage Approval		STATUS: S4
PLANNING APPLICATION		

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Planning Drawings	MB	FM/LH/JH	04/08/2023
P2	Draft Planning Drawing Amendments	MB	FM/LH/JH	07/08/2023
P3	Final Planning Pack	MB	FM	08/08/2023



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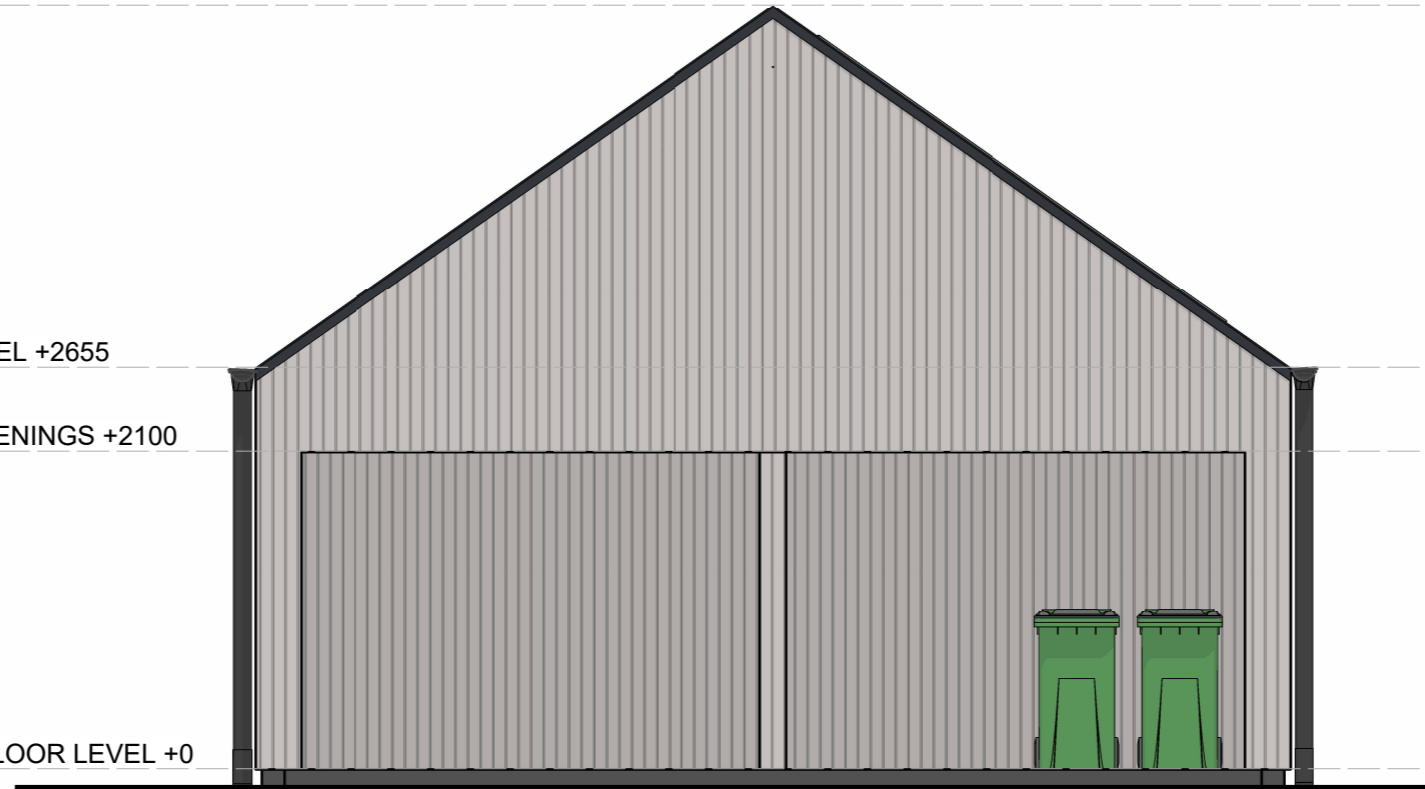
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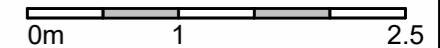
TOP OF OPENINGS +2100

GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
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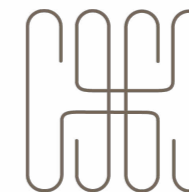
CLIENT
 Norman Smith
 Project Number:
 H_1017
 Site Address:
 26 South Shawbost,
 Shawbost,
 Isle of Lewis
 HS2 9BJ

DRAWING NUMBER:
 1017-HEB-XX-XX-DR-XX-20-503
 DRAWING TITLE
 GARAGE REAR ELEVATION
 DRAWN BY
 AA
 CHECKED:
 FM/LH/JH
 PURPOSE FOR ISSUE:
 For Stage Approval
 PLANNING APPLICATION

REVISION: P3
 DATE:
 01/08/2023
 SCALE
 1 : 50 @ A3
 STATUS:
 S4

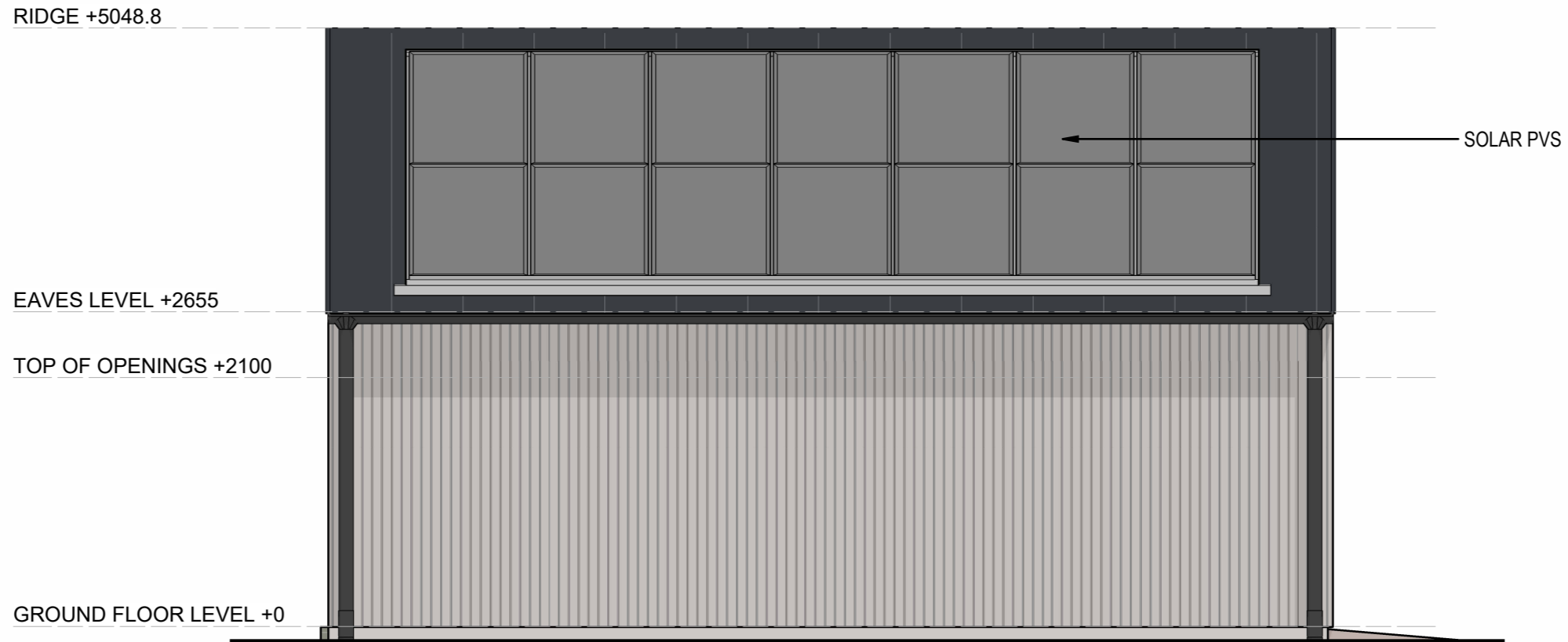
REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Planning Drawings	MB	FM/LH/JH	04/08/2023
P2	Draft Planning Drawing Amendments	MB	FM/LH/JH	07/08/2023
P3	Final Planning Pack	MB	FM	08/08/2023

Telephone: 44 (0)141 550 7360
 Email: info@hebhomes.com
 Web: www.hebhomes.com



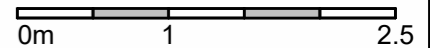
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To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing for production or construction. Architect to be advised of any variation between the drawings and site conditions. Construction must comply with all NHBC and industry standards.
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Proposed External Finishes

- Walls:** Vertical Larch, Naturally Weathered
- Roof:** Standing Seam Aluminium, Black
- Gutters:** Exposed Metal Gutters, Coated Black
- Windows:** AluClad windows in Black



CLIENT Norman Smith Project Number: H_1017 Site Address: 26 South Shawbost, Shawbost, Isle of Lewis HS2 9BJ	DRAWING NUMBER: 1017-HEB-XX-XX-DR-XX-20-504	REVISION: P3	REVISION DESCRIPTION P1 Draft Planning Drawings P2 Draft Planning Drawing Amendments P3 Final Planning Pack	DRAWN MB	CHECKED FM/LH/JH	DATE 04/08/2023	 HebHomes Telephone: 44 (0)141 550 7360 Email: info@hebhomes.com Web: www.hebhomes.com	
	DRAWING TITLE GARAGE SIDE ELEVATION 1			DATE: 01/08/2023	MB	FM/LH/JH		07/08/2023
	DRAWN BY AA	CHECKED: FM/LH/JH		SCALE 1:50 @ A3	MB	FM		08/08/2023
	PURPOSE FOR ISSUE: For Stage Approval			STATUS: S4				
PLANNING APPLICATION								

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RIDGE +5048.8

EAVES LEVEL +2655

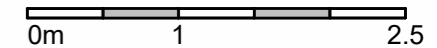
TOP OF OPENINGS +2100

GROUND FLOOR LEVEL +0



Proposed External Finishes

Walls: Vertical Larch, Naturally Weathered
Roof: Standing Seam Aluminium, Black
Gutters: Exposed Metal Gutters, Coated Black
Windows: AluClad windows in Black



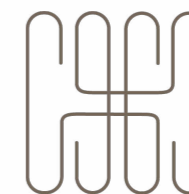
CLIENT
 Norman Smith
 Project Number:
 H_1017
 Site Address:
 26 South Shawbost,
 Shawbost,
 Isle of Lewis
 HS2 9BJ

DRAWING NUMBER:
 1017-HEB-XX-XX-DR-XX-20-505
 DRAWING TITLE
 GARAGE SIDE ELEVATION 2
 DRAWN BY
 AA
 CHECKED:
 FM/LH/JH
 PURPOSE FOR ISSUE:
 For Stage Approval
 PLANNING APPLICATION

REVISION:
 P3
 DATE:
 01/08/2023
 SCALE
 1:50 @ A3
 STATUS:
 S4

REVISION	DESCRIPTION
P1	Draft Planning Drawings
P2	Draft Planning Drawing Amendments
P3	Final Planning Pack

DRAWN	CHECKED	DATE
MB	FM/LH/JH	04/08/2023
MB	FM/LH/JH	07/08/2023
MB	FM	08/08/2023

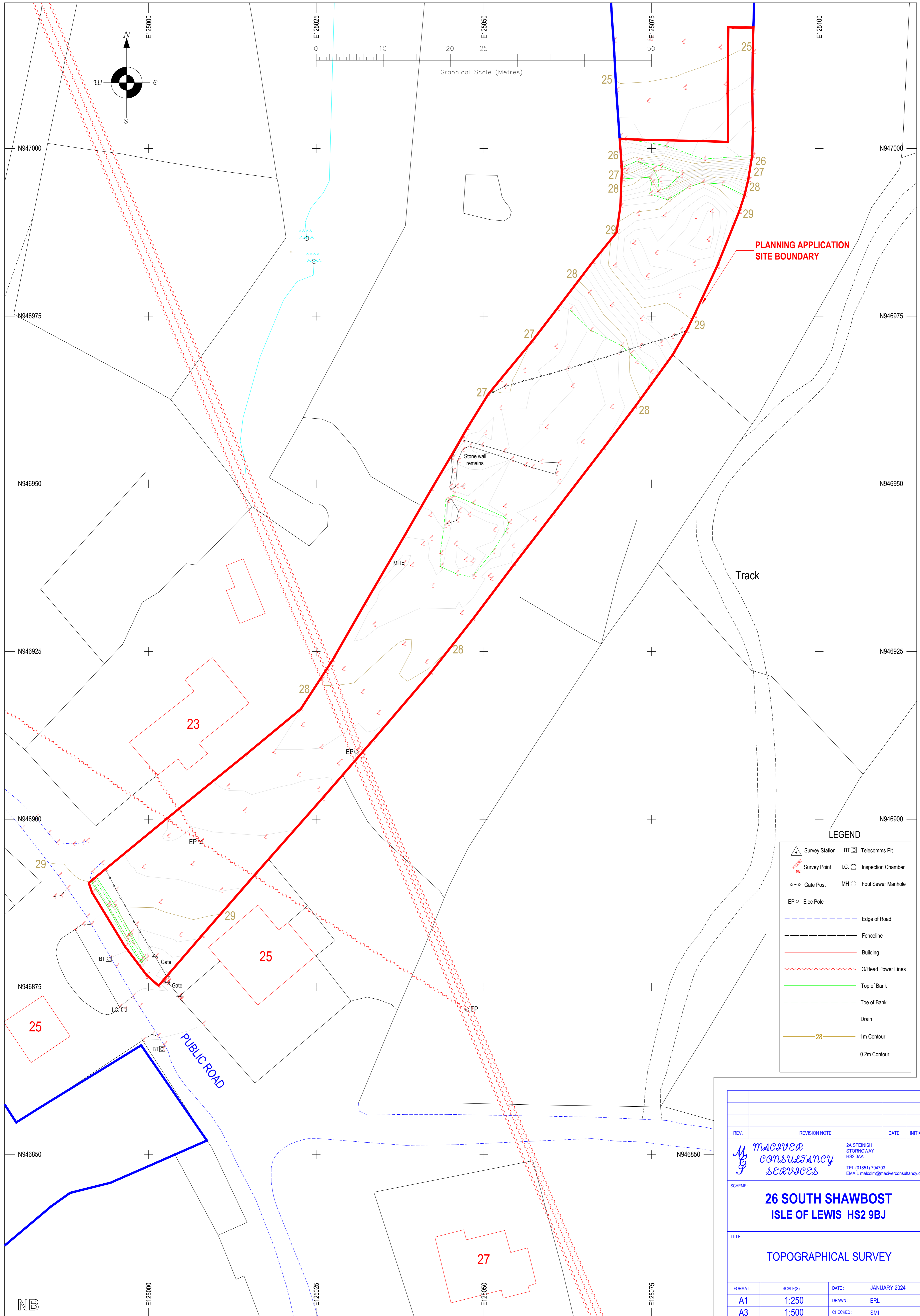


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LEGEND

	Survey Station		Telecomms Pit
	Survey Point		Inspection Chamber
	Gate Post		Foul Sewer Manhole
	Elec Pole		Edge of Road
	Fenceline		Building
	Overhead Power Lines		Top of Bank
	Drain		Toe of Bank
	1m Contour		0.2m Contour

REV.	REVISION NOTE	DATE	INITIALS

macver CONSULTANCY SERVICES
 2A STEINISH STORROWAY HS2 0AA
 TEL: (01851) 704703
 EMAIL: malcolm@macverconsultancy.com

SCHEME:

26 SOUTH SHAWBOST ISLE OF LEWIS HS2 9BJ

TITLE:

TOPOGRAPHICAL SURVEY

FORMAT:	SCALE(S):	DATE:	JANUARY 2024
A1	1:250	DRAWN:	ERL
A3	1:500	CHECKED:	SMI

DRAWING NO.:

23/141/02 PLANNING

Survey and levels aligned to Ordnance Survey Grid and Datum.

SITE PLAN PROPOSAL (SCALE 1:250 @ A1 FORMAT)